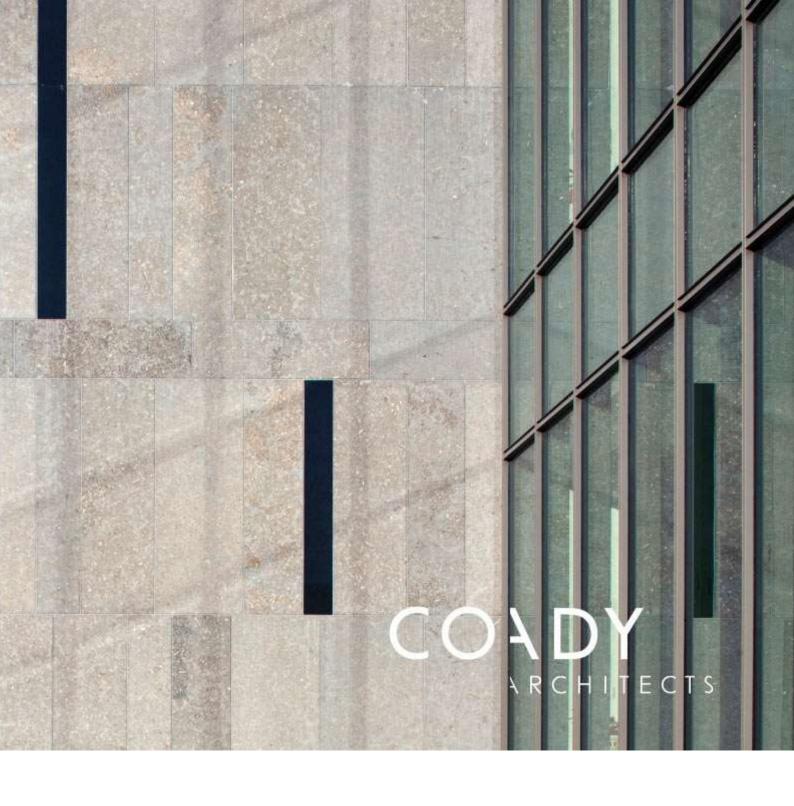
Appendix A.16.1

Galway Racecourse Stable Yard Architectural Details

A.16.1



GALWAY RACECOURSE

STABLEYARD

DESIGN REPORT

Planning Application

April 2018 Job ref: 2324

CONTENTS

1. Introduction	
1. Introduction	

- 2. Site Description and Context
- 3. Site Restrictions
- 4. Permanent Stableyard

4.1	Layout & Design

- 4.2 Materials & Finishes
- 5. Temporary Stableyard
- 6. Conclusion
- 7. References

APPENDICES

- A. Schedule of Areas and Services
 - A i) Permanent Stableyard
 - A ii) Temporary Stableyard
- B. A3 Drawing Set



Stableyard Project Design Report

Project:	Galway Racecourse Stableyard
Job Ref:	2324
Date:	April 2018

1.0 Introduction

This Design Report has been prepared to accompany the enclosed drawings as part of a Planning Application for the construction of a new Permanent Stableyard for Galway Racecourse Stableyard, Ballybrit, Galway.

The Report describes the provision of a new Permanent Stableyard and Horsebox parking, relocated and reconfigured from their existing location in order to accommodate the proposed N6 Galway City Ring Road (GCRR) and associated road layout works in the vicinity of Galway Racecourse (GR). These works include the proposed N6 GCRR tunnel, which is proposed to cross the northeast corner of GR lands underneath the existing Stableyard location.

The Report also briefly describes the provision of a Temporary Stableyard, proposed to accommodate the stables and associated buildings for the duration of the phased construction of the proposed N6 GCRR tunnel and associated works affecting the proposed Permanent Stableyard site.

The following is a brief summary schedule of accommodation provided by the proposed Stableyards:

- 158 No. Stables
- Turf Club Vet Boxes
- Turf Club Security Offices
- Racecourse Vet Boxes
- Racecourse Security Offices
- Groom's Canteen and Toilets
- Bedding Stores
- Covered Machinery Area*
- Maintenance Shed
- Horsebox Loading Bays
- Horsebox Parking
- Horse wash-down

*Permanent Stableyard Only

2.0 Site Description & Context

The site for the Permanent Stableyard is located at the northeast corner of Galway Racecourse and measures approximately 1.9 ha. It is bounded to the north, east and west by a proposed access road forming part of the proposal for the new N6 GCRR (Figure 1).

The N6 GCRR tunnel is proposed to pass underneath the site, which currently houses the existing Stableyard, comprising 165 stables, machinery and maintenance sheds, turf club vet boxes and security offices, groom's canteen and horse wash-down facilities. Horsebox parking is located adjacent to the stableyard with access from Racecourse Road.

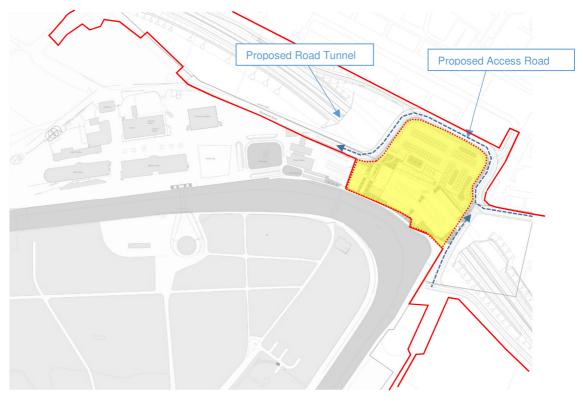


Figure 1 – Map Showing Proposed Road Layout Proposed Boundary of N6 GCRR Development Extent of proposed Permanent Stableyard Site

3.0 Site Restrictions

Due to the prohibition of locating structures within a 9.0m buffer zone over the tunnel, the area upon which structures can be located is isolated from the main racetrack. The site is loosely split into 2 zones - Horsebox parking which is located over the buffer zone and - the Stableyard itself, located to the north of the proposed tunnel. (Figure 2). Refer to Drawing No. GRS-COA-00-ZZ-DR-A-0501 for details.

Access points were determined as the above zones were defined (Figure 3). These points informed the proposed direction of flow across the site.

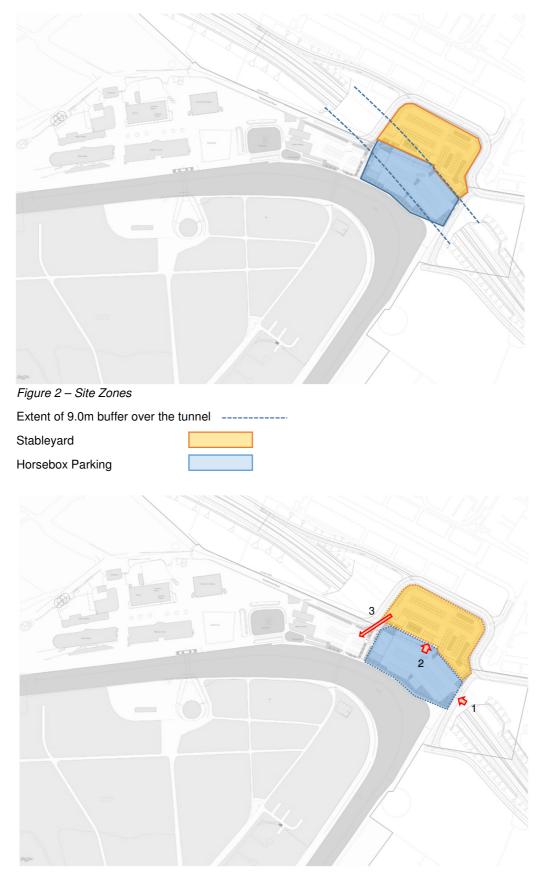


 Figure 3 – Access Points

 1 – Public Road – Horsebox Parking
 2 – Horsebox Parking to Stableyard
 3 – Stableyard to Track

4.0 Permanent Stableyard

4.1 Layout & Design

The layout of the Permanent Stableyard is configured to best meet the requirements of the schedule of accommodation and flow movements across the site both on and off race days, as well as provide for a safe and comfortable environment for the end user.

Buildings are grouped together in zones within the Stableyard that serve specific purposes related to both pre and post-race movement through the yard (Figure 4). Refer to Drawing Nos. GRS-COA-00-ZZ-DR-A-0502 and 0511 for details.



Figure 4 – Proposed Permanent Stableyard Site Layout

The following is a synopsis of the schedule of accommodation included as Appendix A i):

- 158 No. Stables
- Covered Machinery Area
- Maintenance Shed
- Turf Club Office & Treatment Boxes
- Turf Club Security Offices
- Racecourse Vet Office & Treatment Boxes
- Racecourse Security Offices
- Grooms Canteen & Toilets
- Bedding Stores

The propose typology of the Stableyard is that of a secure, walled enclosure, with the buildings within the yard protected by a robust perimeter wall (Figure 5).



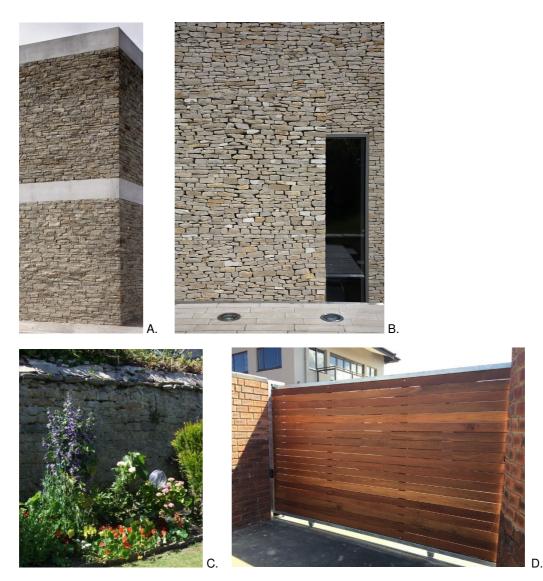
Figure 5 – Proposed Aerial View from the West Walled Enclosure



4.2 Materials & Finishes

External elevations to the road -

External elevations to the road are proposed to consist of precast concrete banding and dry-stone wall infill, with openings of timber and galvanised steel infill. Materials are chosen as being synonymous with the local and broader hinterland of Galway. A landscaped buffer zone serves to soften the appearance of the perimeter wall and provide opportunity for landscaping to develop over time along the racecourse road. Refer to Drawing No. GRS-COA-00-ZZ-DR-A-0513 for details.



- A. Concrete banding with dry stone infill
- B. Dry stone infill detail
- C. Perament landscaped border
- D. Timber and galvanised steel framed gate detail

Internal elevations within the yard -

Within the yard, a limited and robust palette of materials is necessary in order to facilitate the requirements of designing for horses. The buildings within the yard are protected by the perimeter wall and use it as a structural 'lean-to' support. The design prioritises shelter - from overhangs; freedom of circulation – level access across the yard; and the overall comfort and safety of the horses – minimal wall projections, sliding gates and doors, natural ventilation. Materials proposed include smooth finished precast concrete, standing seam metal roofing and stable doors of steel and recycled plastic. Refer to Drawing Nos. GRS-COA-00-ZZ-DR-A-0505 to 0507 for details.





- E. Stable building part elevation
- F. Smooth finished precast concrete detail
- G. Precedent image of roof and overhangs
- H. Recycled plastic and galvanised steel framed sliding stable door detail

5.0 Temporary Stableyard

In order to accommodate the construction of the N6 GCRR tunnel, a Temporary Stableyard is proposed to the northwest of the existing site for the duration of the phased construction of the proposed N6 GCRR tunnel and associated works affecting the proposed Permanent Stableyard site (Figure 6). Refer to Drawing No. GRS-COA-00-ZZ-DR-A-0531 for details.

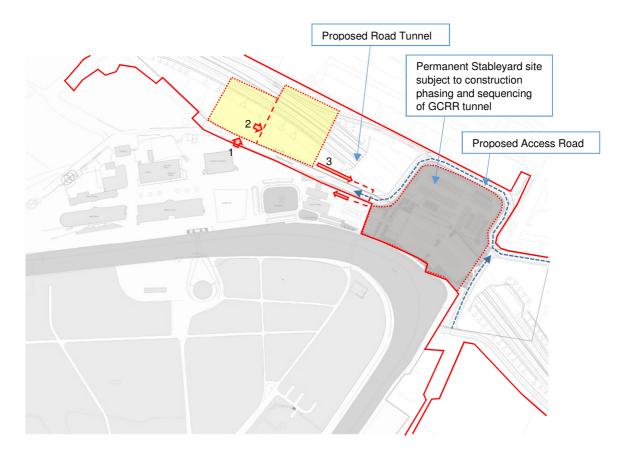


Figure 6 – Map Showing Proposed Temporary Stableyard Location

Proposed Boundary of N6 GCRR Development

Extent of proposed Temporary Stableyard Site

Access Points

- 1 Public Road Temporary Horsebox Parking
- 2 Temporary Horsebox Parking to Stableyard
- 3 Temporary Stableyard to Track

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									3
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5.1 Temporary Stableyard - Layout

The layout of the Temporary Stableyard is configured in a functional manner to again meet the requirements of the schedule of accommodation and flow movements across the site both on and off race days (Figure 7).

Buildings are aligned perpendicular to the Racecourse road and parallel to the slope to best accommodate ease of circulation, safety of the horses and drainage across the site. Refer to Drawing Nos. GRS-COA-00-ZZ-DR-A-0522 and 0531 for details.



Figure 7 – Proposed Temporary Stableyard Site Plan

The following is a synopsis of the schedules of accommodation included as Appendix A ii):

- 158 No. Stables
- Turf Club Office & Treatment Boxes
- Turf Club Security Offices
- Racecourse Vet Office & Treatment Boxes
- Racecourse Security Offices

5.2 Temporary Stableyard - Materials & Finishes

External elevations to the road -

In keeping with the functional and security requirements of the Temporary Stableyard, elevations to the road are proposed to be sand cement rendered concrete wall, with timber and galvanised steel framed gates. Refer to Drawing No. GRS-COA-00-ZZ-DR-A-0533 for details.

Internal elevations within the yard -

Given the temporary nature of this yard, the majority of structures proposed, including the majority of stables, are to be prefabricated off site. Materials proposed include timber cladding to prefabricated stables, smooth finished precast concrete to vet areas, standing seam metal roofing and sliding stable doors of steel and recycled plastic, and standard prefab welfare cabins for grooms and security personnel. Refer to Drawing No. GRS-COA-00-ZZ-DR-A-0525 and 0526 for details.

6.0 Conclusion

The proposed Permanent Stableyard is designed to best accommodate current and future accommodation and maintenance requirements of GR, both on and off race days, with prioritised emphasis on the comfort and safety of end users – both horses and personnel alike. It is seen as a positive addition to the collection of buildings within the racecourse complex and will provide an assured contribution to the future of Galway Racecourse.

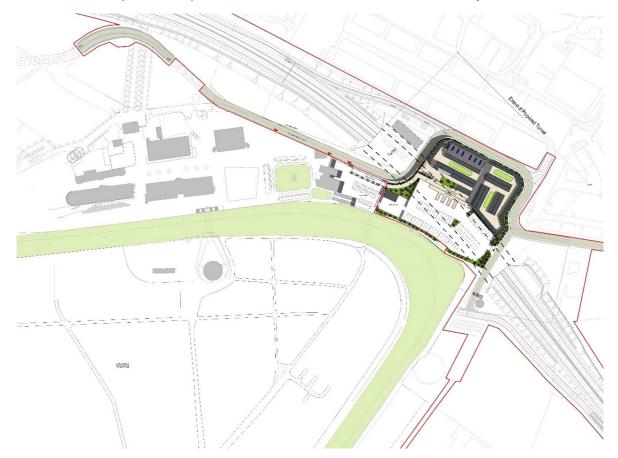


Figure 8 – Proposed Permanent Stableyard Plan in overall Site Context

7.0 References

- BHA General Instructions Official Racecourse Stables and Horsebox Park British Horseracing Authority, *April 2017*
- Building Stables for Horses Teagasc, *February 2009*

APPENDIX A

Schedule of Areas and Services

APPENDIX A i)

Permanent Stableyard : Schedule of Areas and Services

Project:	t Stables - Schedule of Areas and Services Galway Racecourse Stableyard											
Job ref:	2324											
Date: Revision	09th February 2018 P-											
			Areas		 6	1	1	Services p	per Room	T	1	1
Room No.	Room Name	Area (m²)	Quantity	Total Area (m²)	Electrical Outlets Twin Socket	Lighting	Data Points	Phone Points	V/ CCTV	Water	Heating	Ventilation
Ľ	Typical Stable	11.5	158	1,817.00	1 x Single External Outlet	1 x Internal 1 x External Switch	-	-	-	-	-	Natural
	Machinery Area	550	1	550.00	4 x External	-	-		-	2 x CW	-	Natural
	Maintenance Shed											
	Shed Space	120	1	120.00	4 X External Type	Internal External	-	-	-	1 x CW	-	Natural
	Drying Room	25	1	25.00	2	Internal	-	-	-	-	Yes	Natural
	Toilets	12.5	1	12.50		Internal	-	-	-	CW/HW	Yes	Natural
	Kitchenette	25	1	25.00	4	Internal		1	Yes	CW/HW	Yes	Natural
	Office	12.5	1	12.50	4	Internal	2	2	Yes	-	Yes	Natural
	Turf Club Vet Office	21	1	21.00	4	1 x Internal 1 x External Switch	2	2	Yes	CW/HW	Yes	Natural
	Typical Turf Club Treatment Box	25	2	50.00		Internal - High / Low Level External		-	-	-		Natural
	Turf Club Yard	120	1		1 x External	-	-		-	CW	-	-
	RC Vet Office	14.5	1	14.50	4	1 x Internal 1 x External Switch	2	2	Yes	CW/HW	Yes	Natural
	Typical RC Vet Treatment Box	22.5	2	45.00	-	Internal - High / Low Level External	-	-	-	-	-	Natural
	Turf Club Security Office	18	1	18.00	4	1 x Internal 1 x External	2	2	Yes	CW/HW	Yes	Natural
	RC Security Office	18	1	18.00	4	1 x Internal 1 x External	2	2	Yes	CW/HW	Yes	Natural
	RC Sleeping Accommodation	24	1	24.00	3	1 x Internal 1 x External	2	1	Yes	-	Yes	Natural
	- En-suite	4	1	4.00	-	Internal	-	-	-	CW/HW	Yes	Natural
	Bedding Stores	24	2	48.00	-	Internal	-	-	-	-	-	Natural
	Stores	60	1	60.00	1 X External Type	Internal	-	-	-	-	-	Natural
	Grooms Pavilion											
	Male Shower / Toilets	35	1	35.00	-	Internal	-	-	-	CW/HW	Yes	Mechanic
	Female Shower / Toilets	30	1	30.00		Internal		-	-	CW/HW	Yes	Mechanic
	Cleaner's Store	6	1	6.00		Internal		-	-	CW/HW	Yes	Natural
	Kitchen	25	1	25.00	10	Internal	2	1	-	CW/HW	Yes	Mechanic
	Canteen	140	1	140.00	10	Internal	4	1	Yes	CW/HW	Yes	Natural

APPENDIX A ii)

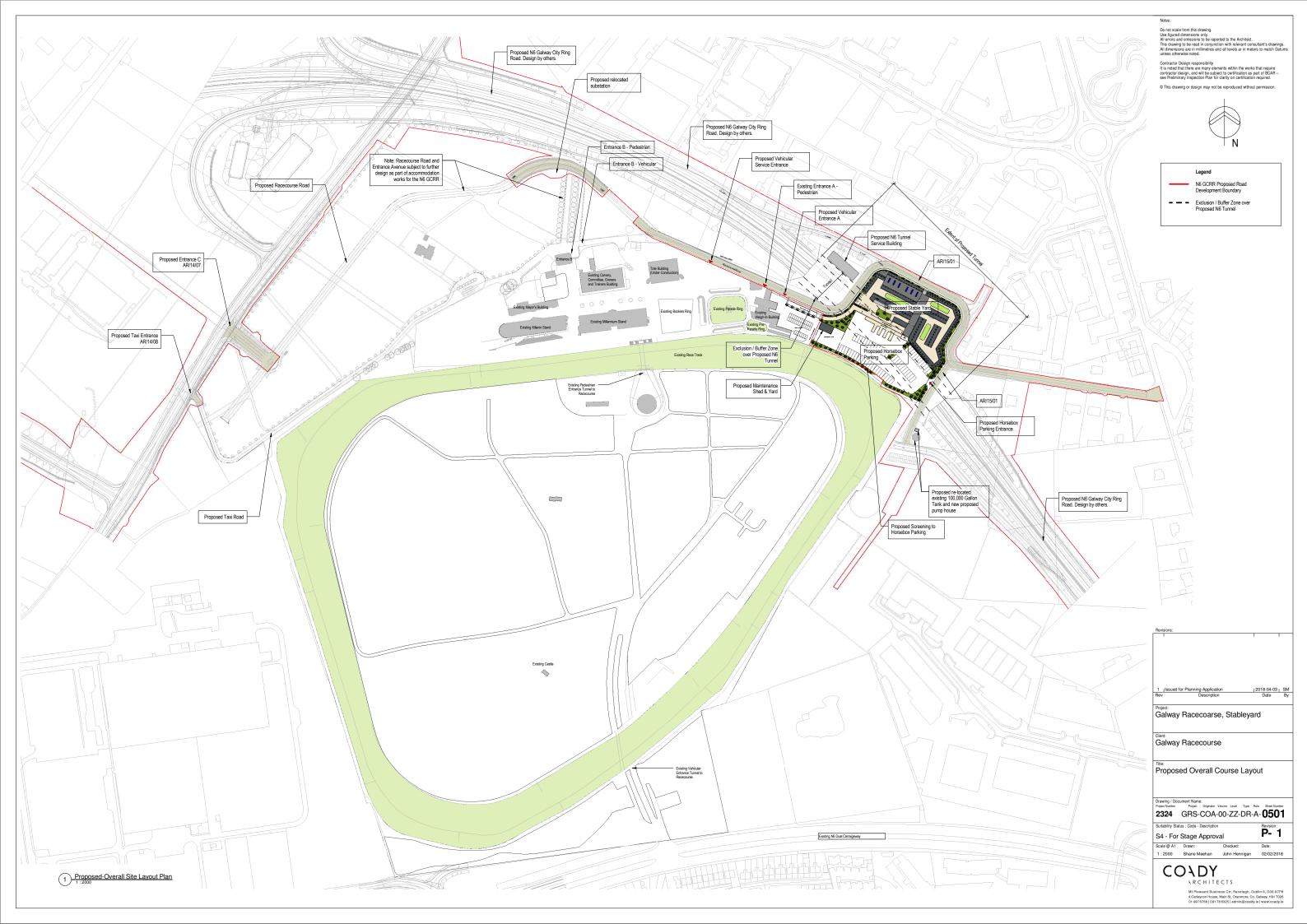
Temporary Stableyard : Schedule of Areas and Services

	Stables - Schedule of Area and Services Galway Racecourse Stableyard											
Project: Job ref: Date:	2398 20th March 2018											
Revision	P-		Areas					Services	or Boom			
Room No.	Room Name	Area (m²)	Quantity	Total Area (m²)	Electrical Outlets Twin Socket	Lighting	Data Points	Phone Points		Water	Heating	Ventilation
	Typical Stable	11.5	158	1,817.00	0.5 x Single External	1 x Internal 1 x External		-	-	-	-	Natural
	Maintenance Shed - As Permanent				Outlet	Switch						
	Shed Space	120	1	120.00	2 X External Type	Internal External	-	-	-	1 x CW	-	Natural
	Drying Room	25	1	25.00	2	Internal	-	-	-	-	Yes	Natural
	Toilets	12.5	1	12.50		Internal	-	-	-	CW/HW	Yes	Natural
	Kitchenette	25	1	25.00	4	Internal	-	1	Yes	CW/HW	Yes	Natural
	Office	12.5	1	12.50	4	Internal	2	2	Yes	-	Yes	Natural
	Turf Club Vet Office	21	1	21.00	4	1 x Internal 1 x External Switch	2	2	Yes	CW/HW	Yes	Natural
	Typical Turf Club Treatment Box	25	2	50.00	-	Internal - High / Low Level External	-	-	-		-	Natural
	Turf Club Yard	120	1		1 x External	-	-	-	-	CW	-	-
	RC Vet Office	14.5	1	14.50	4	1 x Internal 1 x External Switch	2	2	Yes	CW/HW	Yes	Natural
	Typical RC Vet Treatment Box	22.5	2	45.00	-	Internal - High / Low Level External	-	-	-		-	Natural
	Turf Club Security Office Prefab	18	1	18.00	4	1 x Internal 1 x External	2	2	Yes	CW/HW	Yes	Natural
	RC Security Office Prefab	18	1	18.00	4	1 x Internal 1 x External	2	2	Yes	CW/HW	Yes	Natural
	RC Sleeping Accommodation Prefab	18	1	18.00	3	1 x Internal 1 x External	2	1	Yes	-	Yes	Natural
	- En-suite	4	1	4.00	-	Internal	-	-	-	CW/HW	Yes	Natural
	Bedding Stores	24	2	48.00	-	Internal	-	-	-	-	-	Natural
	Grooms Welfare Facitlities											
	Male Toilets Prefab	18	1	18.00	-	Internal	-	-	-	CW/HW	Yes	Mechanical
	Male Shower Prefab	18	1	18.00	-	Internal	-	-	-	CW/HW	Yes	Mechanical
	Female Toilets Prefab	18	1	18.00		Internal	-	-	-	CW/HW	Yes	Mechanical
	Female Shower Prefab	18	1	18.00	-	Internal	-	-	-	CW/HW	Yes	Mechanical
	Kitchen/ Canteen Prefab	60	1	60.00	10	Internal	6	2	Yes	CW/HW	Yes	Mechanical

APPENDIX B

A3 Drawings

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GRS-COA-00-ZZ-DR-A-0507	Proposed Site Sections 3	1	1:200	A1				/	1							
GRS-COA-00-ZZ-DR-A-0511	Proposed Ground & First Floor Plans	1	1:200	A1				/	1							
GRS-COA-00-ZZ-DR-A-0512	Proposed Roof Plan	1	1:200	A1				/	1							
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GRS-COA-00-ZZ-DR-A-0517	Groom's Pavilion - Proposed Plans, Sections & Elevations	1	1:200	A1				/	1	$\left - \right $	⊢		\rightarrow	\rightarrow	<u> </u>	— І
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GRS-COA-00-ZZ-DR-A-3003	Room Layout - Racecourse Security & Accommodation	1	1:50	A1				/	1		$ \square$		\square	$ \rightarrow $		i
GRS-COA-00-ZZ-DR-A-3004	Room Layout - Turf Club Security	1	1:50	A1				/	1		\vdash	$ \rightarrow $				·
GRS-COA-00-ZZ-DR-A-3005	Room Layout - Washdown Area	1	1:50	A1				/	1	\mid	\vdash	$ \rightarrow $	\rightarrow	_		i
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 Scale @ A1
 Drawn:
 Checked:
 Date:

 As indicated
 Shane Meehan
 John Hennigan
 02/02/2018

Mt Pleasant Business Ctr, Ranelagh, Dublin 6, D06 X7P8 4 Carleycon House, Main St, Oranmore, Co, Galway, H91 T026 01 497 6766 | 091 78 8325 | admin@coady.le | www.coady.le





6 Site Section M M

Notes:

Do not scale from this drawing. Use ligured dimensions only. All errors and consistons to be reported to the Architect. This drawing to be read in conjunction with relevant consultant's drawings. All dimensions are in millimetres and all levels ar in meters to match Datum unless otherwise noted.

Contractor Design responsibility It is noted that there are many elements within the works that require contractor design, and will be subject to certification as part of BCAR see Preliminary Inspection Plan for clarity on certification required.

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Key Plan-Permanent-Sections 2

A - Profiled Metal Ro nooth Finish Ca Dry Stone Walling - Max. coursing 150mm deep, Pale coloured Sandstone Living Wall /Trellis Screening - Refer to Landscape Plans and Spe Smooth Finish Preca Landscaping Zone - Refer to Galvanised Steel/Timbe Feature Rainwater Outlet Galvanised Steel/Recycled Plastic Sliding Stable Door Thermally Broken Aluminium Doors & Windows - Profiled Metal Ventilation Outlet Stable Yard Stable Racecourse — Access Road Building FRL +59.32 m 10420 Zone Racecourse Access Road Stable Stable Yard Building Buffer FRL +59.01 m 6125 1495 3705 I Issued for Planning Application 2018-04-03 | SM Date By Galway Racecoarse, Stableyard Client: Galway Racecourse Proposed Site Sections 2 Drawing / Document Name: Project Number Project Originator Volume Level Type Role 2324 GRS-COA-00-ZZ-DR-A-0506 21495 Suitability Status : Code - Description P- 1

S4 - For Stage Approval

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 Scale @ A1
 Drawn:
 Checked:
 Date:

 As indicated
 Shane Meehan
 John Hennigan
 02/02/2018

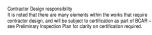
Mt Pleasant Business Ctr, Ranelagh, Dublin 6, D06 X7P8 4 Carleycon House, Main St, Oranmore, Co, Galway, H91 T026 01 497 6766 | 091 78 8325 | admin@coady.ie | www.coady.ie





Notes:

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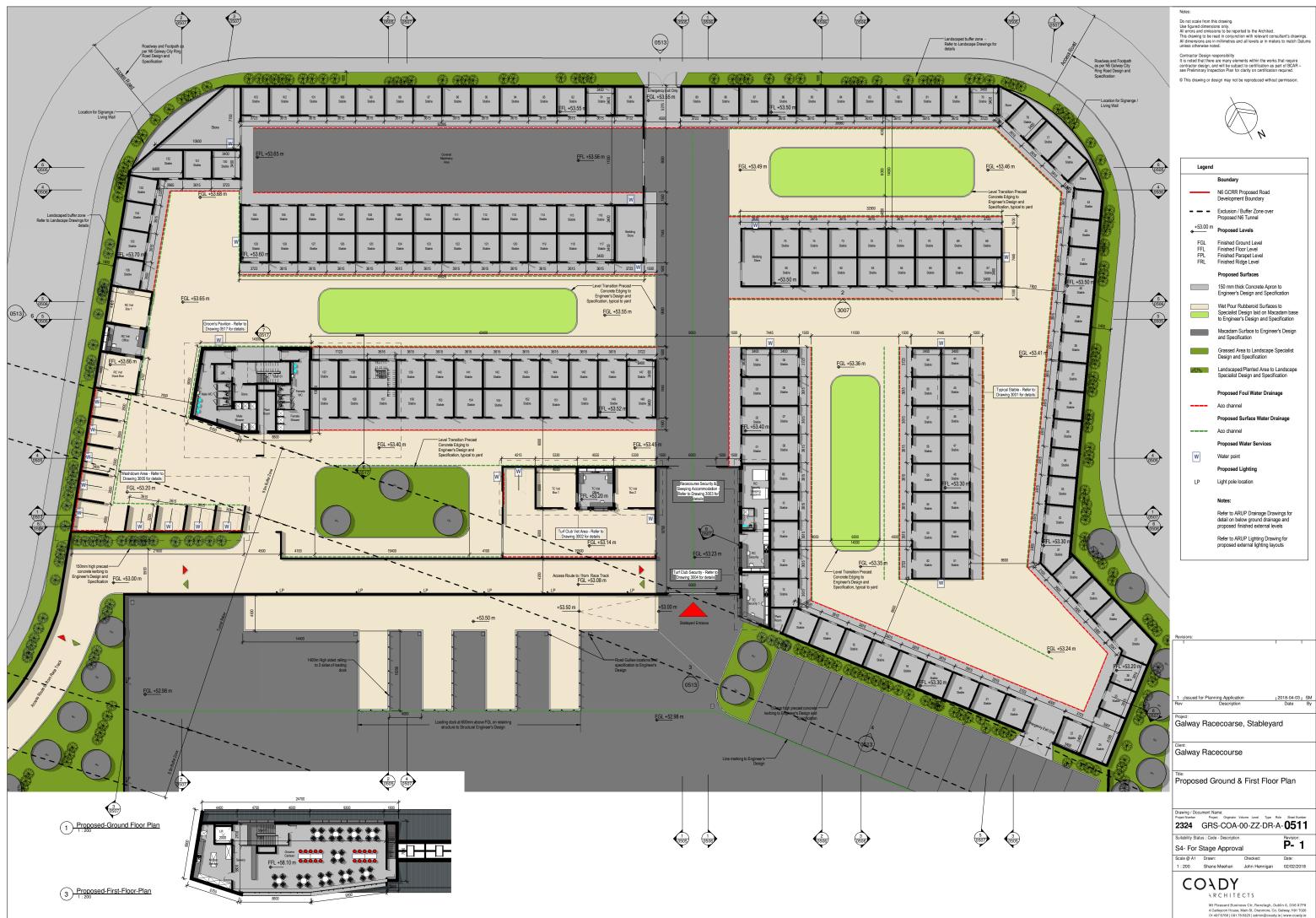
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Key Plan-Permanent-Sections 3

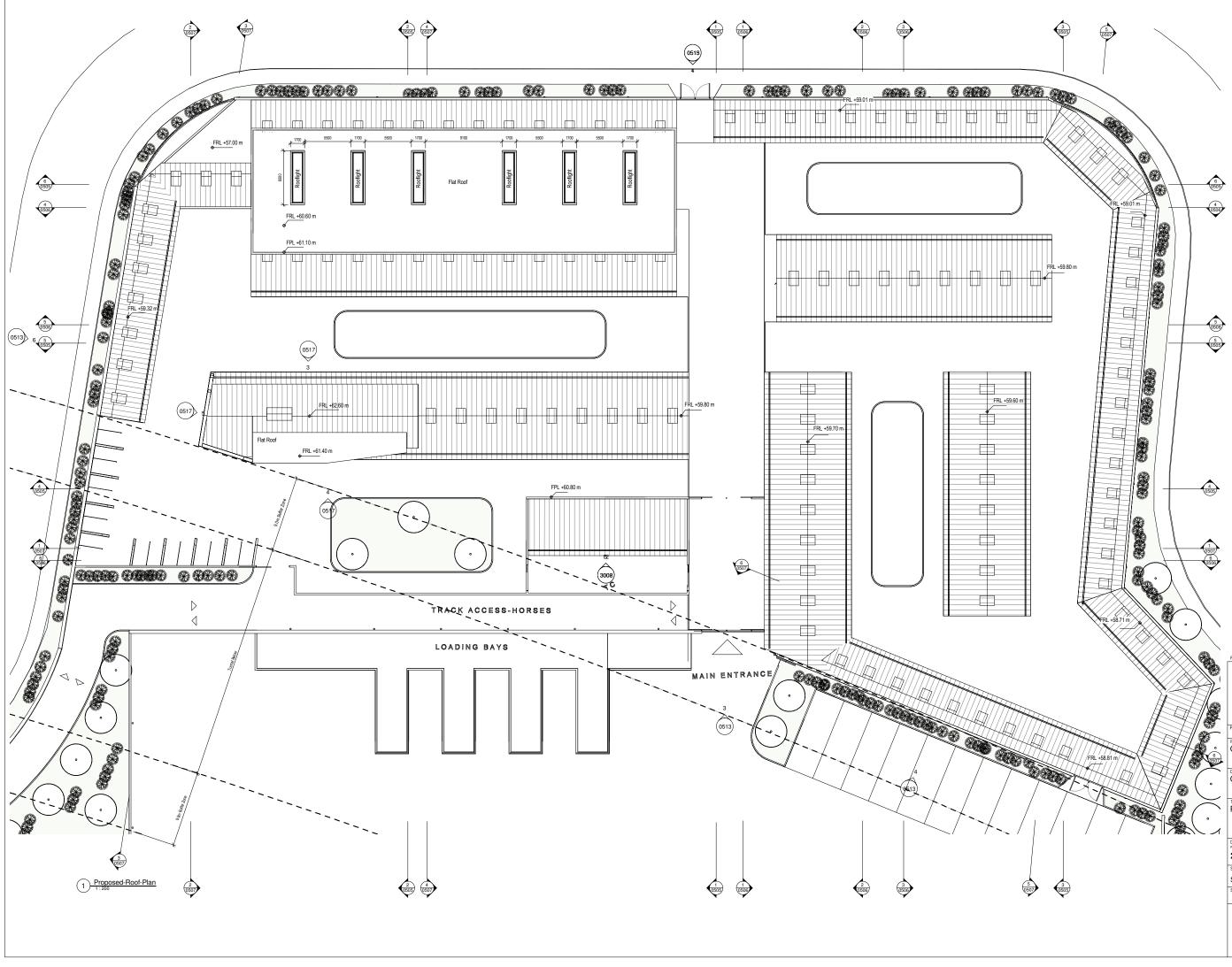
- Dry Stone Walling Max. coursing 150mm deep, Pale coloured Sandstone
- Living Wall /Trellis Screening Refer to Landscape Plans and Specification
- Landscaping Zone Refer to Landscape Plans and Spe

Revisions:			
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Drawing / Document Na Project Number Project		ne Level Type F	Role Sheet Number
2324 GRS	S-COA-00)-ZZ-DR-	A-0507
Suitability Status : Code	Description	-	Revision:
S4 - For Stage	e Approval		F- 1
Scale @ A1 Drawn:	: (Checked:	Date:
As indicated Shane	Meehan .	John Hennigan	02/02/2018
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A R	CHITEC	TS	
Mt F	loacant Rusiness		
			Jblin 6, D06 X7P8
	arleycon House, Ma	in St. Oranmore, Co 325 admin@coady	Galway, H91 T026





Legend	
Legenu	Devendence
	Boundary
	N6 GCRR Proposed Road Development Boundary
	Exclusion / Buffer Zone over Proposed N6 Tunnel
+53.00 m	Proposed Levels
FGL FFL FPL FRL	Finished Ground Level Finished Floor Level Finished Parapet Level Finished Ridge Level
	Proposed Surfaces
	150 mm thick Concrete Apron to Engineer's Design and Specification
	Wet Pour Rubberoid Surfaces to Specialist Design laid on Macadam base to Engineer's Design and Specification
	Macadam Surface to Engineer's Design and Specification
	Grassed Area to Landscape Specialist Design and Specification
<u>21%</u>	Landscaped/Planted Area to Landscape Specialist Design and Specification
	Proposed Foul Water Drainage
	Aco channel
	Proposed Surface Water Drainage
	Aco channel
	Proposed Water Services
W	Water point
	Proposed Lighting
LP	Light pole location
	Notes:
	Refer to ARUP Drainage Drawings for detail on below ground drainage and proposed finished external levels
	Refer to ARUP Lighting Drawing for proposed external lighting layouts



Notes:

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Contractor Design responsibility It is noted that there are many elements within the works that require contractor design, and will be subject to certification as part of BCAR – see Preliminary Inspection Plan for clarity on certification required.

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Legend

Boundary

N6 GCRR Proposed Road Development Boundary

Exclusion / Buffer Zone over Proposed N6 Tunnel

+53.00 m Proposed Levels

FGL	Finished Ground Level
FFL	Finished Floor Level
FPL	Finished Parapet Level
FRL	Finished Ridge Level
	Natari

Refer to ARUP Drainage Drawings for detai on below ground drainage and proposed f inished external levels

Refer to ARUP Lighting Drawing for proposed external lighting layouts

1 Issued for Planning Application 2018-04-03 | SM Date By

Galway Racecoarse, Stableyard

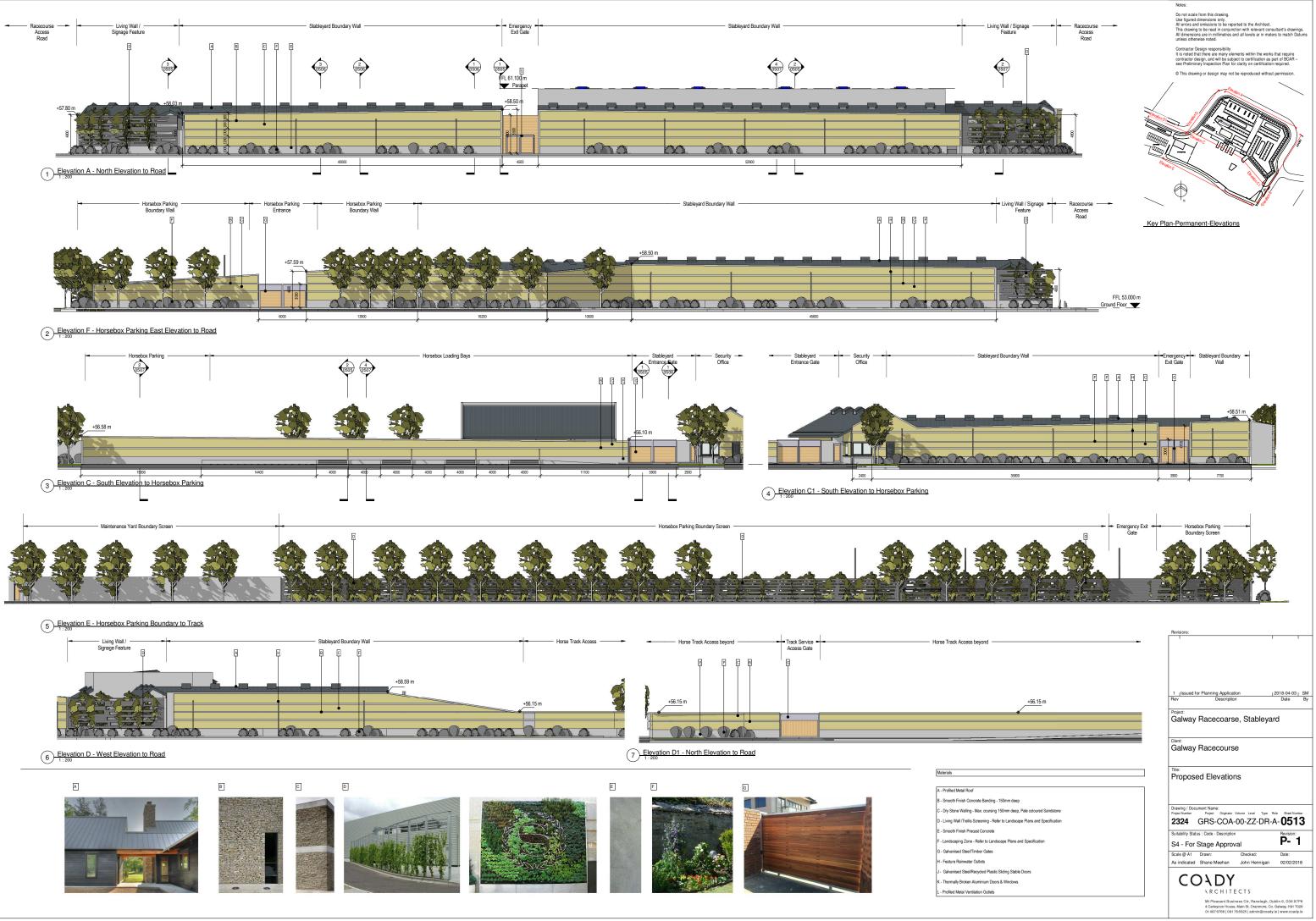
Galway Racecourse

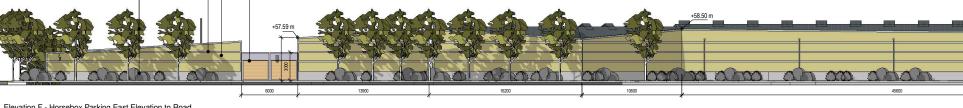
Proposed Roof Plan

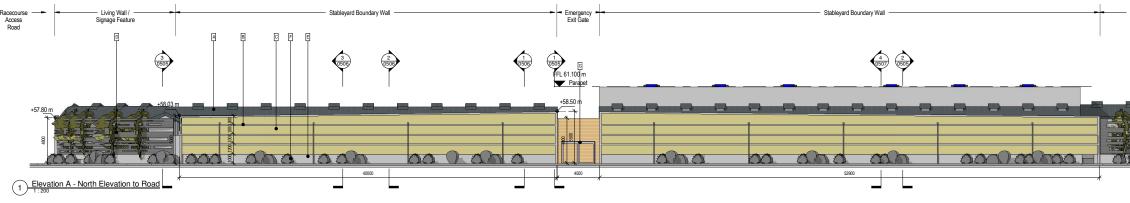
Drawing / Document Name: Project Number Project Originator Volume Level Type Role 2324 GRS-COA-00-02-DR-A-0512 Suitability Status : Code - Description P- 1 S4 - For Stage Approval
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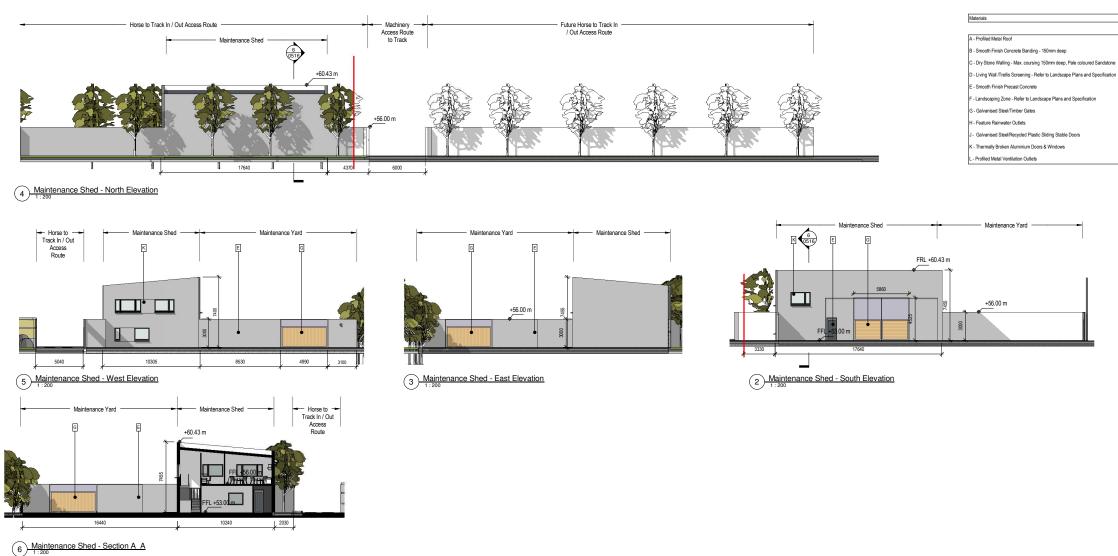
 1 : 200
 Shane Meehan
 John Hennigan
 02/02/2018
 COLDY

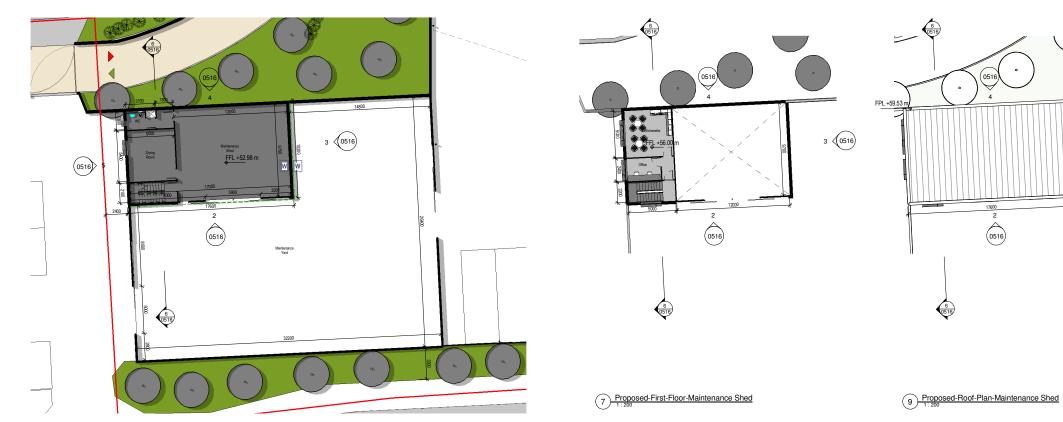
Mt Pleasant Business Ctr, Ranelagh, Dublin 6, D06 X7P8 4 Carleycon House, Main St, Oranmore, Co. Galway, H91 T026 01 497 6766 | 091 78 8325 | admin@coady.ie | www.coady.ie









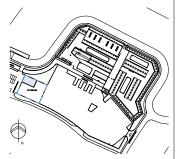


1 Proposed-Ground Floor Plan-Maintenance Shed

٩ 3 (0516) FPL +60.43 m



Notes: Do not scale from this drawing. Use ligured dimensions only. All errors and oursisons to be reported to the Architect. This drawing to be read in conjunction with relevant consultant's drawings. All dimensions are in millimetres and all levels ar in meters to match Datume unless otherwise noted. Contractor Design responsibility It is noted that there are many elements within the works that require contractor design, and will be subject to certification as part of BCAR – see Preliminary Inspection Plan for clarity on certification required. © This drawing or design may not be reproduced without permission



Key Plan-Permanent-Maintenance Shed

Legend	
	Boundary
	N6 GCRR Proposed Road Development Boundary
	Proposed Levels
FGL FFL FPL FRL	Finished Ground Level Finished Floor Level Finished Parapet Level Finished Ridge Level
NOTES:	Refer to ARUP Drainage Drawings for proposed finished external levels
	Refer to ARUP Lighting Drawing for proposed external lighting layouts
	Proposed Foul Water Drainage
	Aco channel
	Proposed Surface Water Drainage
	Aco channel
	Proposed Water Services
W	Water point
	Proposed Lighting
LP	Light pole location
	Notes:
	Refer to ARUP Drainage Drawings for below ground drainage and proposed finished external levels
	Refer to ARUP Lighting Drawing for proposed external lighting layouts



Mt Pleasant Business Ctr, Ranelagh, Dublin 6, D06 X7P8 4 Carleycon House, Main St, Oranmore, Co. Galway, H91 T026 01 497 6766 | 091 78 8325 | admin@coady.ie | www.coady.ie



3 Pavilion - North Elevation

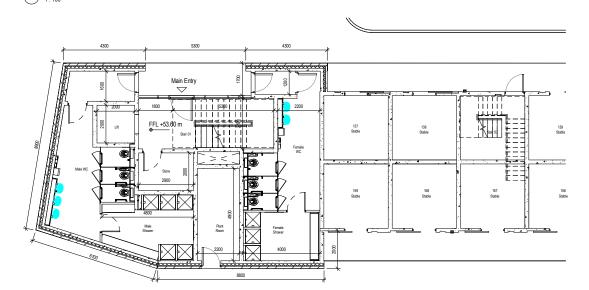


FRL +63.43 m +61.40 m 163 Stair 01 FFL 58.100 m Pavilion First Floor 💌 162 Plant Room FFL +53.60 m

7 Grooms Pavilion-Section B B

5 Pavilion - West Elevation

6 Grooms Pavilion-Section A A



2000 Lift $\overline{2} \ge \overline{2}$ B FFL +58.10 m A CONTRACTOR OF THE OWNER



1 Proposed-First-Floor-Plan-Pavilion









2 Proposed-Ground Floor Plan-Pavilion

Notes:

Do not scale from this drawing. Use ligured dimensions only. All errors and oursisons to be reported to the Architect. This drawing to be read in conjunction with relevant consultant's drawings. All dimensions are in millimetres and all levels ar in meters to match Datume unless otherwise noted.

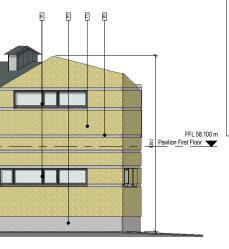
Contractor Design responsibility It is noted that there are many elements within the works that require contractor design, and wild be subject to certification as part of BCAR – see Preliminary Inspection Plan for clarity on certification required.

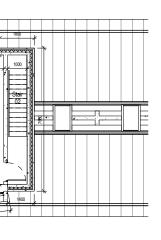
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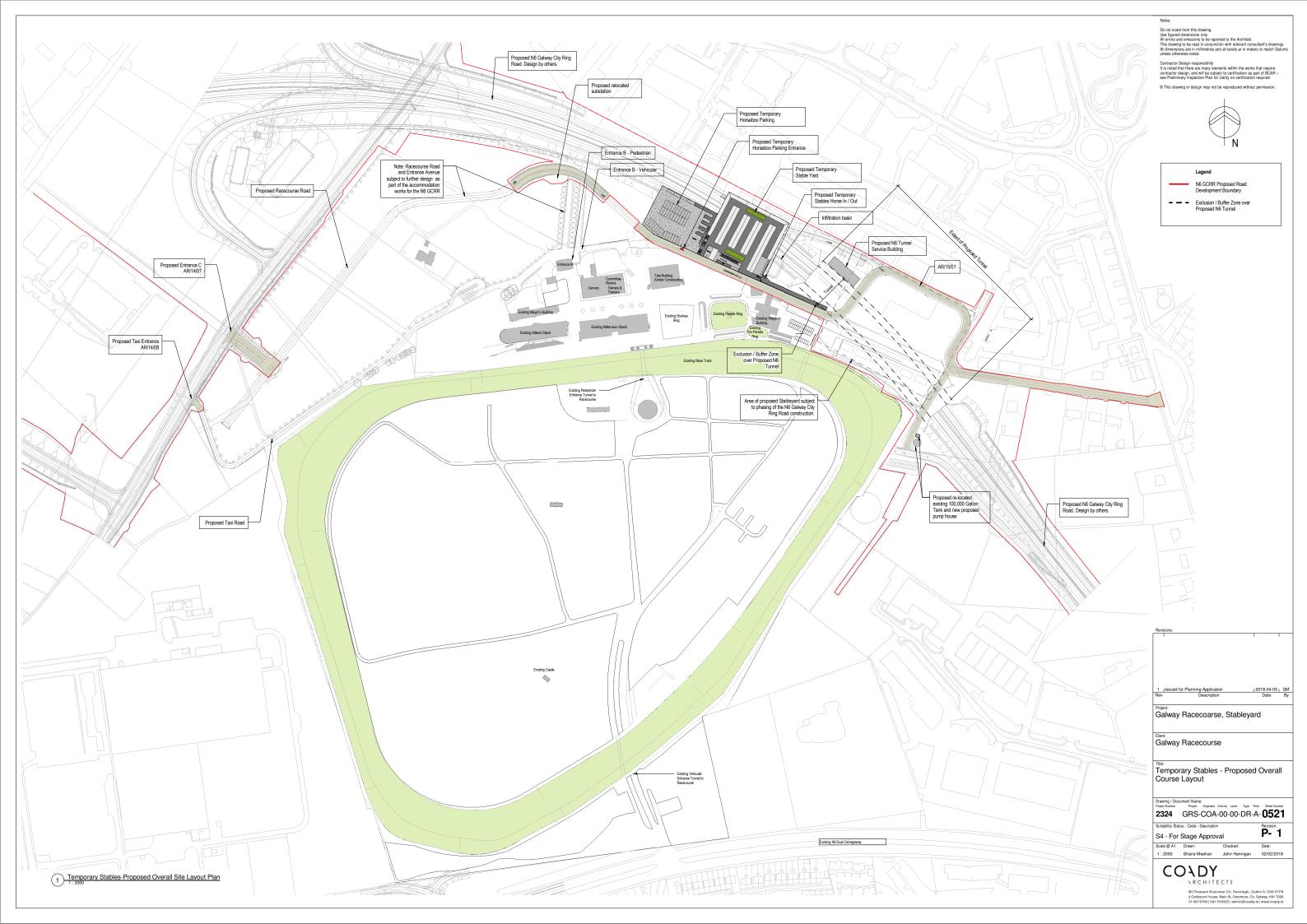
Key Plan-Permanent-Pavilion

Legend	
	Boundary
	N6 GCRR Proposed Road Development Boundary
	Proposed Levels
FGL FFL FPL FRL	Finished Ground Level Finished Floor Level Finished Parapet Level Finished Ridge Level
NOTES:	Refer to ARUP Drainage Drawings for proposed finished external levels
	Refer to ARUP Lighting Drawing for proposed external lighting layouts





Revisions:		
		I I
1 Issued for Planning Applicati Rev Description		2018-04-03 SM Date By
		Date by
Project: Galway Racecoars	e Stableva	urd
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Client:		
Galway Racecourse	е	
Title:		
Groom's Pavilion - Sections & Elevation		Plans,
Sections & Elevation	ns	
Drawing / Document Name: Project Number Project Originator	/olume Level Type	Role Sheet Number
2324 GRS-COA-	00-ZZ-DR-	A- 0517
Suitability Status : Code - Description		Revision:
S4 - For Stage Approv	al	P- 1
Scale @ A1 Drawn:	Checked:	Date:
As indicated Shane Meehan	John Hennigan	02/02/2018
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	iess Ctr. Ranelagh, C	ublin 6. D06 X7P8
4 Carleycon House,	Main St, Oranmore, Co 88325 admin@coad	o. Galway, H91 T026





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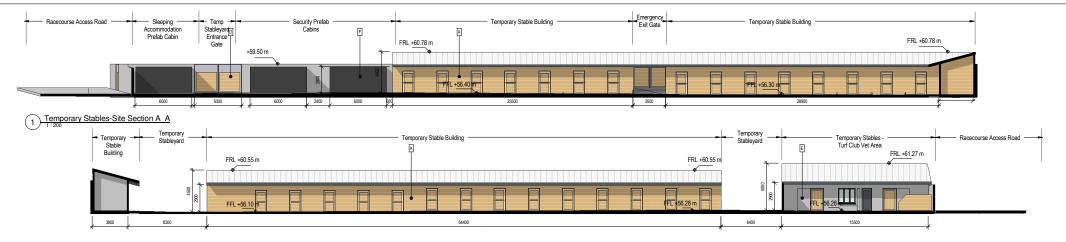
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Legend	
	Boundary
—	N6 GCRR Proposed Road Development Boundary
	Exclusion / Buffer Zone over Proposed N6 Tunnel
+53.00 m	Proposed Levels
FGL FFL FPL FRL	Finished Ground Level Finished Floor Level Finished Parapet Level Finished Ridge Level
	Proposed Surfaces
	150mm thick Concrete Apron to Engineer's Design and Specification
	Tar and Chip to Engineer's Design and Specification
$\sum_{i=1}^{N} \frac{1}{i} \sum_{j=1}^{N} \frac{1}{i} \sum_{j$	Gravel Surface to Engineer's Design and Specification
	Grassed Area to Landscape Specialist Design and Specification
	Notes:
	Refer to ARUP Drainage Drawings for detail on below ground drainage and proposed finished external levels
	Refer to ARUP Lighting Drawing for proposed external lighting layouts

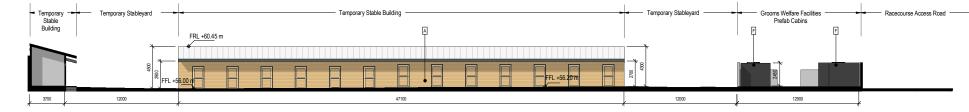
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	r Planning Applicati		2018-04-03 SM
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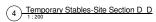


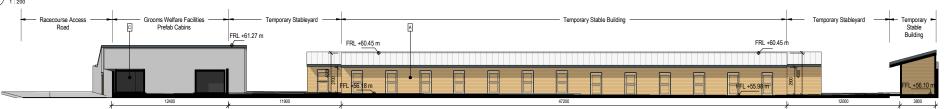
2 Temporary Stables-Site Section B B



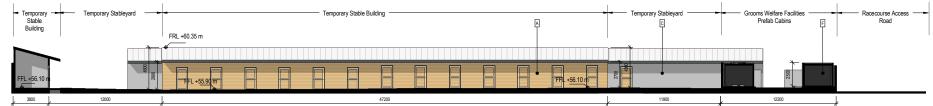
3 Temporary Stables-Site Section C C



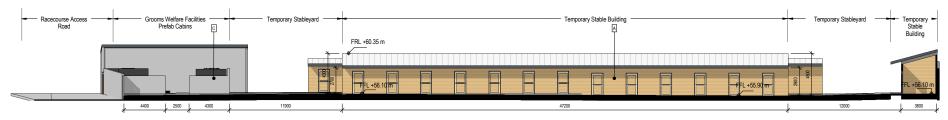


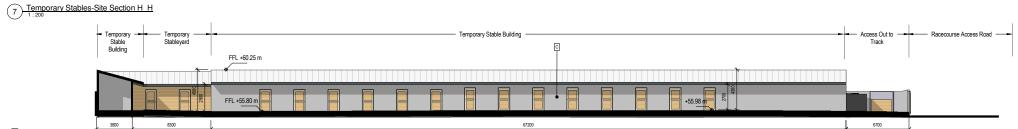


5 Temporary Stables-Site Section E E



6 Temporary Stables-Site Section F F





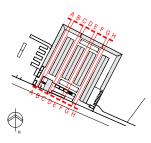
8 Temporary Stables-Site Section G G

Notes:

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Key Plan-Temporary-Sections 1

Materials

A - Prefabricated Timber Stables to Specialist Design and Specification

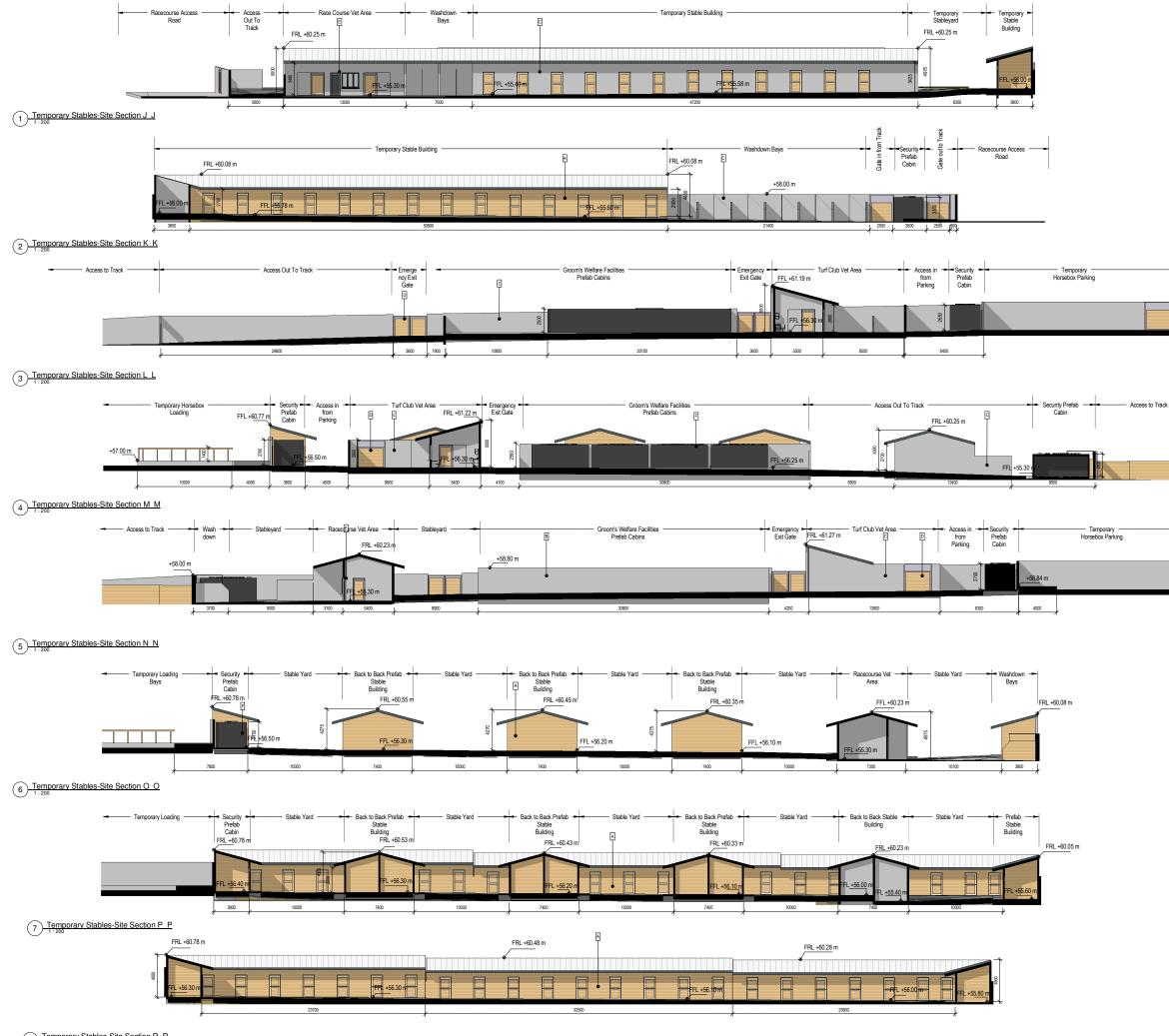
- Plastered concrete wall
- Smooth Finish Precast Concre

Galvanised Steel/Timber Gate

hermally Broken Aluminium Doors & Windows

- Modular Prefab building to Specialist Design and Spec

1 '	I	1
4 Insural for Disaster Applies	al	
1 Issued for Planning Applica Rev Description		2018-04-03 SM Date By
Dulati		
Project: Galway Racecoars	se. Stableva	rd
	, 21	-
Client:		
Galway Racecours	se	
Title:		
Temporary Stables	s - Proposed	Site
Sections 1		
Drawing / Document Name:		
		ole Sheet Number
Project Number Project Originator	Volume Level Type R -00-ZZ-DR-/	
Project Number Project Originator	-00-ZZ-DR-/	
Project Number Project Originator 2324 GRS-COA	-00-ZZ-DR-/	-0525
Project Number Project Originator 2324 GRS-COA Suitability Status : Code - Descriptio	-00-ZZ-DR-/	-0525
Project Number Project Originator 2324 GRS-COA Suitability Status : Code - Descriptic S4 - For Stage Appro	-00-ZZ-DR-/ ^m val	A-0525 Revision: P-1
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Project Number Project Originator 2324 GRS-COA Suitability Status : Code - Descriptic S4 - For Stage Appro Scale @ A1 Drawn:	-00-ZZ-DR-/ in val Checked: John Hennigan	A-0525 P-1 Date:
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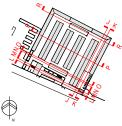
8 Temporary Stables-Site Section R R

Notes:

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Key Plan-Temporary-Sections 2



Materials

A - Prefabricated Timber Stables to Specialist Design and Specification

- Plastered concrete wall

- Smooth Finish Precast Conc

Galvanised Steel/Timber Gat

Thermally Broken Aluminium Doors & Window

- Modular Prefab building to Specialist Design and S

Revisions:			
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Rev	Description		Date By
Project:			
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Galway	Racecours	e	
Title:			
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December / December			
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2324	GRS-COA-	00-ZZ-DR	-A- 0526
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		ness Ctr, Ranelagh, (
		, Main St, Oranmore, C 78 8325 admin@coac	



Notes:

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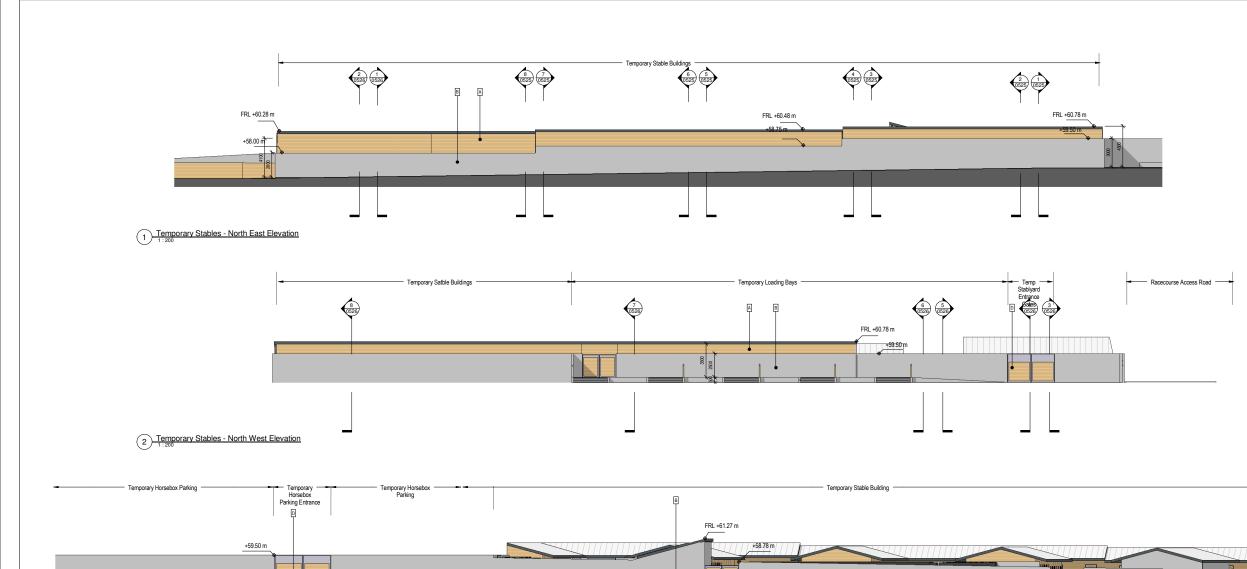
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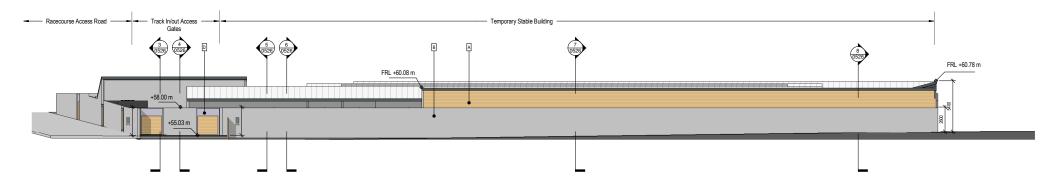


Legend	
	Boundary
	N6 GCRR Proposed Road Development Boundary
+53.00 m	Proposed Levels
FGL FFL FPL FRL	Finished Ground Level Finished Floor Level Finished Parapet Level Finished Ridge Level
	Proposed Surfaces
	150mm thick Concrete Apron to Engineer's Design and Specification
	Tar and Chip to Engineer's Design and Specification
$\sum_{i=1}^{N} \sum_{j=1}^{N} \sum_{i=1}^{N} \sum_{j=1}^{N} \sum_{i$	Gravel Surface to Engineer's Design and Specification
	Grassed Area to Landscape Specialist Design and Specification
	Proposed Foul Water Drainage
	Aco channel
	Proposed Surface Water Drainage
	Aco channel
	Proposed Water Services
W	Water point
	Proposed Building Types
	Temporary / Pre-fab Stable
	Permanent Structure
	Prefab cabins
	Notes:
	Refer to ARUP Drainage Drawings for detail on below ground drainage and proposed finished external levels
	Refer to ARUP Lighting Drawing for proposed external lighting layouts





4 Temporary Stables - South West Elevation



3 Temporary Stables - South East Elevation

Notes:

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Key Plan-Temporary-Elevations

Materials

A - Prefabricated Timber Stables to Specialist Design and Specification

- Plastered concrete wall

- Smooth Finish Precast Concrete

+58.00 m

- Galvanised Steel/Timber Gates

Thermally Broken Aluminium Doors & Windows

- Modular Prefab building to Specialist Design and Specifica

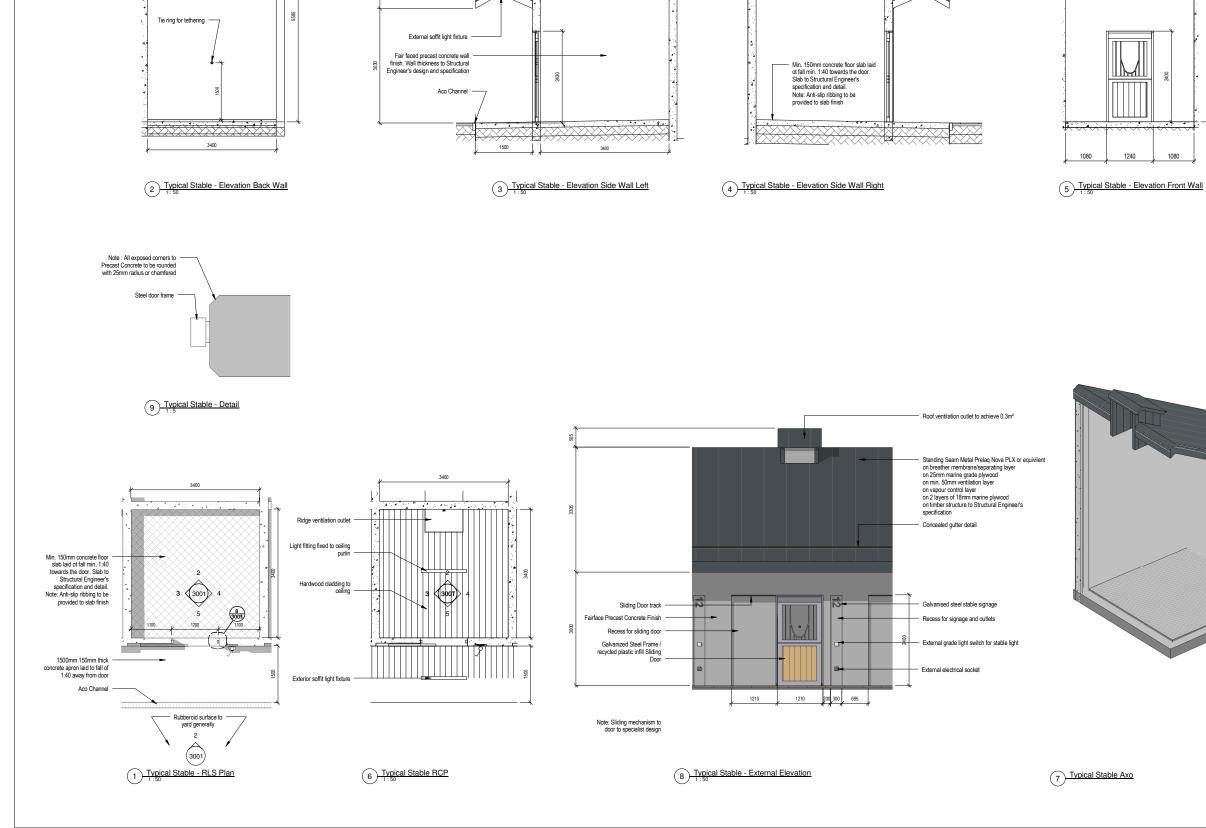
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1 Issued for Planning Application Rev Description 2018-04-03 | SM Date By Galway Racecoarse, Stableyard Galway Racecourse Temporary Stables - Proposed Elevations
 Drawing / Document Name:

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 Volume
 Level
 Type
 Role
 Street Number

 2324
 GRS-COA-00-ZZ-DR-A-0533
 Image: Colored Street Number
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 Scale @ A1
 Drawn:
 Checked:
 Date:

 As indicated
 Shane Meehan
 John Hennigan
 02/02/2018
 COLDY Mt Pleasant Business Ctr, Ranelagh, Dublin 6, D06 X7P8 4 Carleycon House, Main St, Oranmore, Co. Galway, H91 T026 01 497 6766 | 091 78 8325 | admin@coady.ie | www.coady.ie



Roof ventilation outlet to provide area of 0.3m²

Light fitting fixed to purlin

Concealed gutter detail

Notes:

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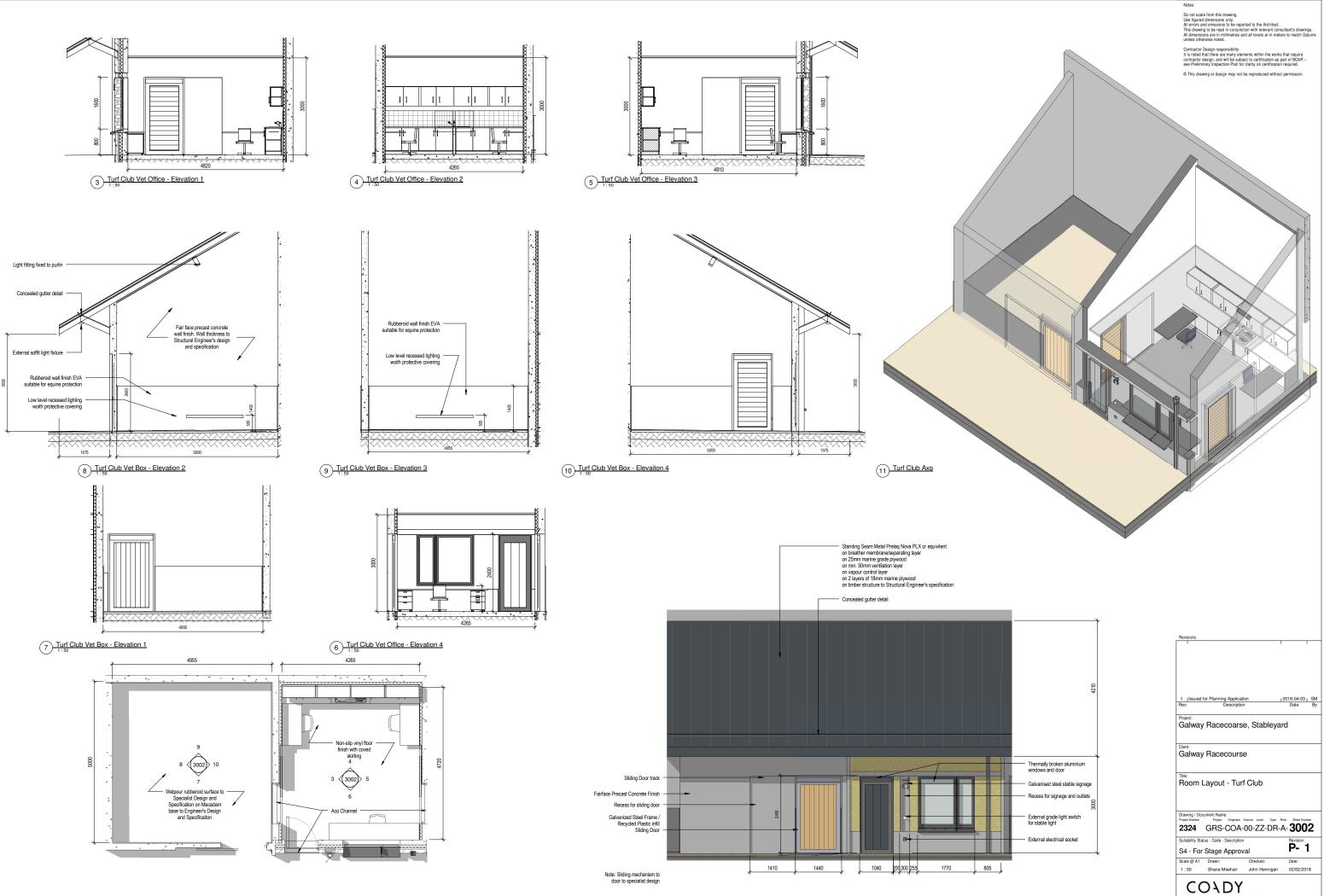


Standing Seam Metal Prelaq Nova PLX or equivilent on breather membrane/separating layer on 25mm marine grade plywood on min. 50mm ventilation layer on vapour control layer on 2 layers of 18mm marine plywood on timber structure to Structural Engineer's specification

Hardwood cladding to u/side of roof



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Room I Drawing / Doc Project Number 2324 Suitability Sta S4 - For Scale @ A1 As indicated	ument Name: Project Originater GRS-COA tus : Code - Descriptio Stage Approv Drawn: Shane Meehan DADY	Volume Level Type R e00-ZZ-DR-/ n val Checked: John Hennigan	A- 3001 Revision: P- 1 Date:
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1) Turf Club - RLS Plan

12 <u>TC - External Elevation</u>

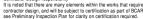
		×
	100	
ļ	Thermally broken aluminium windows and door	
	Galvanised steel stable signage	
ł	Recess for signage and outlets	
	External grade light switch for stable light	
	External electrical socket	
I		ĸ

Revisions:			
1 Issued 1 Rev	for Planning Applicat Descriptio		2018-04-03 SM Date By
1100	Descriptio		Date by
Project:		- Otable	
Galway	Racecoars	e, Stableya	ra
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Room I	Layout - Tur	f Club	
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Project Number	Project Originator	Volume Level Type	
Project Number	Project Originator	-00-ZZ-DR-	A- 3002
Project Number	Project Originator	-00-ZZ-DR-	
Project Number 2324 Suitability Stat	Project Originator	-00-ZZ-DR-	A- 3002
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Project Number 2324 Suitability Sta S4 - For Scale @ A1 1 : 50	Project Originator GRS-COA+ tuus : Code - Description Stage Approv Drawn: Shane Meehan	00-ZZ-DR- val Checked: John Hennigan	A-3002 Revision: P-1 Date:
Project Number 2324 Suitability Sta S4 - For Scale @ A1 1 : 50	Project Originator GRS-COA- tus : Code - Description Stage Approv Drawn:	00-ZZ-DR- val Checked: John Hennigan	A-3002 Revision: P-1 Date:
Project Number 2324 Suitability Sta S4 - For Scale @ A1 1:50	Project Originator GRS-COA+ tuus : Code - Description Stage Approv Drawn: Shane Meehan	Checked: John Hennigan	A-3002 Revision: P-1 Date:
Project Number 2324 Suitability Sta S4 - For Scale @ A1 1 : 50	Project Organizer GRS-COA- tus : Code - Description Stage Approv Drawn: Shane Meehan O A D Y A R C H I T	Checked: John Hennigan	A- 3002 Revision: P- 1 Date: 02/02/2018 ublin 6, D06 X7P8





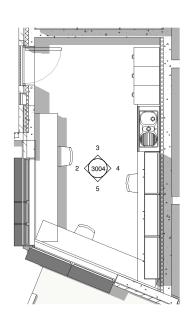
Do not scale from this drawing. Use ligured dimensions only. All errors and oursisons to be reported to the Architect. This drawing to be read in conjunction with relevant consultant's drawings. All dimensions are in millimetres and all levels ar in meters to match Datume unless otherwise noted.



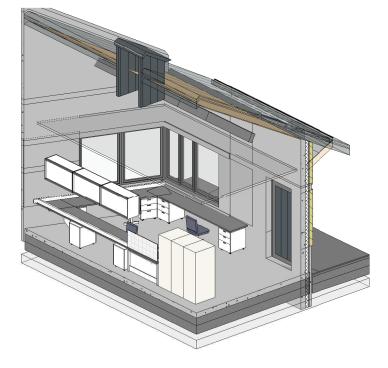
7 TC Security Axo

1 <u>TC Security - RLS Plan</u>

6 Turf Club Security 1 - External Elevation

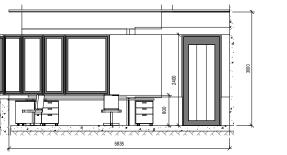


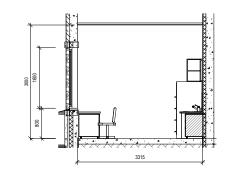


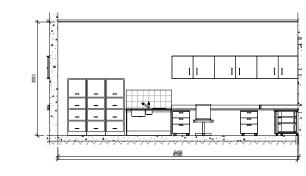


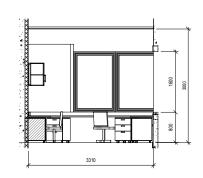
2 Elevation 3 - a 1:50

3 Elevation 3 - b









4 Elevation 3 - c 1:50

5 Elevation 3 - d

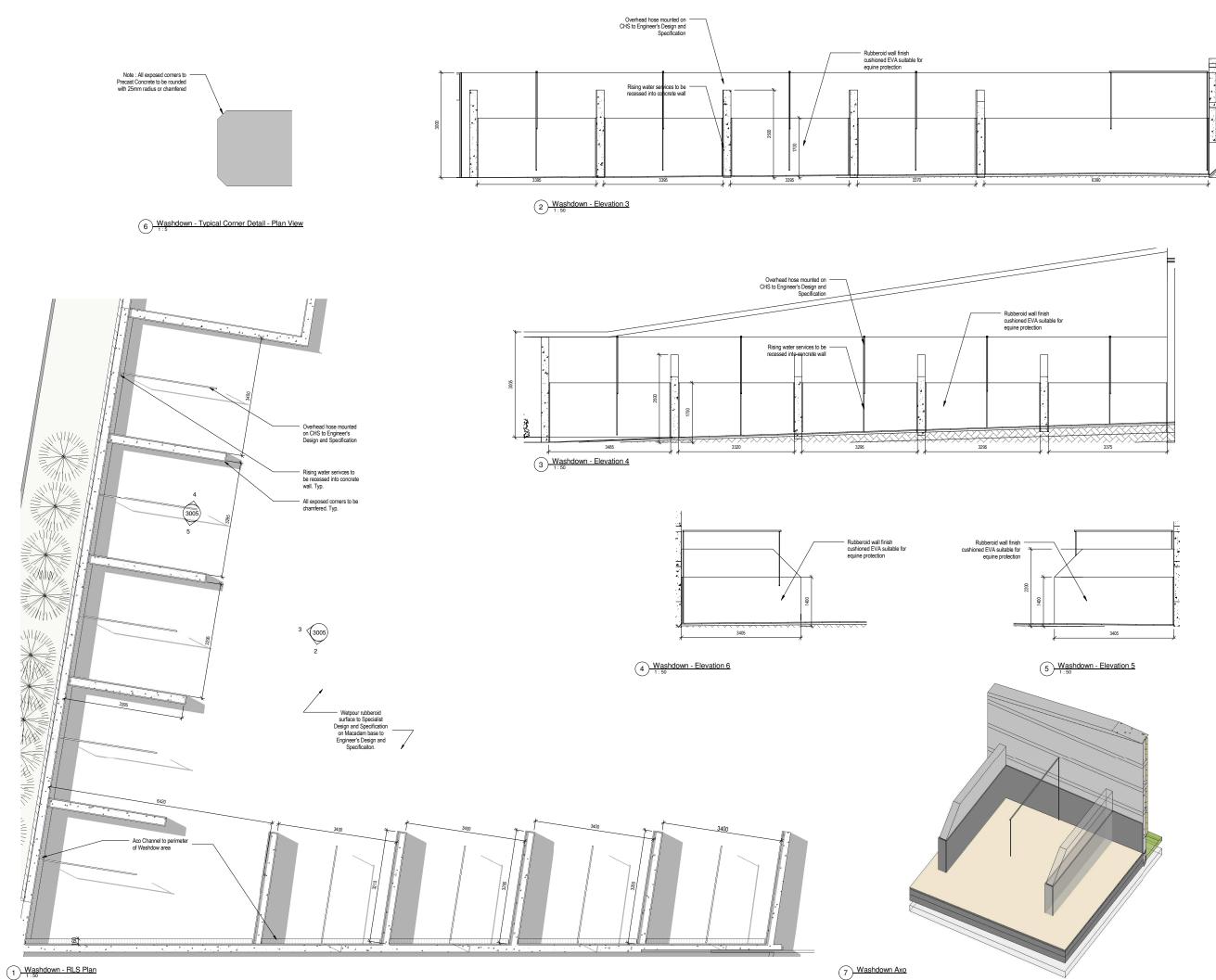
Notes:

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Contractor Design responsibility It is noted that there are many elements within the works that require contractor design, and wild be subject to certification as part of BCAR – see Preliminary Inspection Plan for clarity on certification required.

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Mt Pleasant Business Ctr, Ranelagh, Dublin 6, D06 X7P8 4 Carleycon House, Main St, Oranmore, Co. Galway, H91 T026 01 497 6766 | 091 78 8325 | admin@coady.ie | www.coady.ie



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